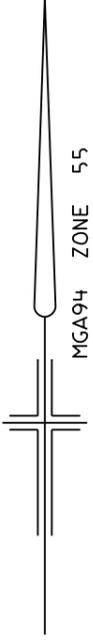


	<b>PLAN OF SUBDIVISION</b>	<b>LRS USE ONLY EDITION</b>	<b>PLAN NUMBER PS 811232G</b>	
<b>LOCATION OF LAND</b> <b>PARISH:</b> TARNEIT  <b>TOWNSHIP:</b> -----  <b>SECTION:</b> 21  <b>CROWN ALLOTMENT:</b> -----  <b>CROWN PORTION:</b> B AND D (PARTS)  <b>TITLE REFERENCES:</b> VOL FOL VOL 11950 FOL 498  <b>LAST PLAN REFERENCE:</b> LOT B ON PS811205K LOT A ON PS811208D  <b>POSTAL ADDRESS: (at time of subdivision)</b> TIMBERLAND DRIVE TARNEIT 3029  <b>MGA 94 CO-ORDINATES: (of approx. centre of plan)</b> E: 296 130 ZONE: 55 N: 5 810 860 DATUM: GDA94		Council Name: Wyndham City Council  Council Reference Number: WYS4312/17 Planning Permit Reference: WYP8490/15 SPEAR Reference Number: S109167A  <b>Certification</b>  This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 15/02/2023  Public Open Space  A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification  Digitally signed by: Maria Pereira for Wyndham City Council on 07/08/2023  <b>Statement of Compliance</b> issued: 16/11/2023  Public Open Space  A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance		
<b>VESTING OF ROADS OR RESERVES</b>		<b>NOTATIONS</b>		
IDENTIFIER	COUNCIL/BODY/PERSON	LOTS 1 TO 2502 (BOTH INCLUSIVE), 2510 TO 2521 (BOTH INCLUSIVE), 2526 TO 2546 (BOTH INCLUSIVE), 2552 TO 2600 (BOTH INCLUSIVE), 2616 TO 2623 (BOTH INCLUSIVE), 2627 TO 2700 (BOTH INCLUSIVE), 2709 TO 2719 (BOTH INCLUSIVE) AND A HAVE BEEN OMITTED FROM THIS PLAN  <b>TOTAL ROAD R1 AREA IS 7142m<sup>2</sup></b>   <b>FURTHER PURPOSE OF PLAN:</b> TO REMOVE THE EASEMENT SHOWN AS (E-4) ON PS811205K WHICH LIES WITHIN THE LAND IN THIS PLAN  <b>GROUND FOR REMOVAL:</b> BY AGREEMENT, SECTION 6(1)(K)(iii) SUBDIVISION ACT 1988		
ROAD R1 RESERVE No. 1	WYNDHAM CITY COUNCIL WYNDHAM CITY COUNCIL			
<b>NOTATIONS</b>				
DEPTH LIMITATION DOES NOT APPLY				
<b>SURVEY:</b> THIS PLAN IS BASED ON SURVEY VIDE BP2838S  THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS Nos. TARNEIT PM 90, TARNEIT PM 714, TARNEIT PM 758, TARNEIT PM 759 AND TARNEIT PM 790.  LAND NOT IN A PROCLAIMED SURVEY AREA  <b>STAGING</b> THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No. WYP8490/15				
<b>ESTATE:</b> CREEKSTONE 25	<b>AREA:</b> 2.604 ha	<b>No. OF LOTS:</b> 50	<b>MELWAY:</b> 359:E:12	
<b>EASEMENT INFORMATION</b>				
<b>LEGEND:</b> A - APPURTENANT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)				
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED OR IN FAVOUR OF
(E-1)	SEWERAGE	SEE PLAN	THIS PLAN	GREATER WESTERN WATER CORPORATION
<b>Breese Pitt Dixon Pty Ltd</b> 1/19 Cato Street Hawthorn East Vic 3123 Ph: 8823 2300 Fax: 8823 2310 www.bpd.com.au info@bpd.com.au		REF: 8584/25	VERSION: 11	ORIGINAL SHEET SIZE A3
CHECKED AT		Digitally signed by: Simon Patrick Cox, Licensed Surveyor, Surveyor's Plan Version (11), 10/03/2023, SPEAR Ref: S109167A		SHEET 1 OF 5 SHEETS
DATE: 28/02/23				



PLAN OF SUBDIVISION

PLAN NUMBER  
PS 811232G



SCALE  
1:500



ORIGINAL SHEET SIZE A3  
REF: 8584/25

SHEET 3  
VERSION: 11



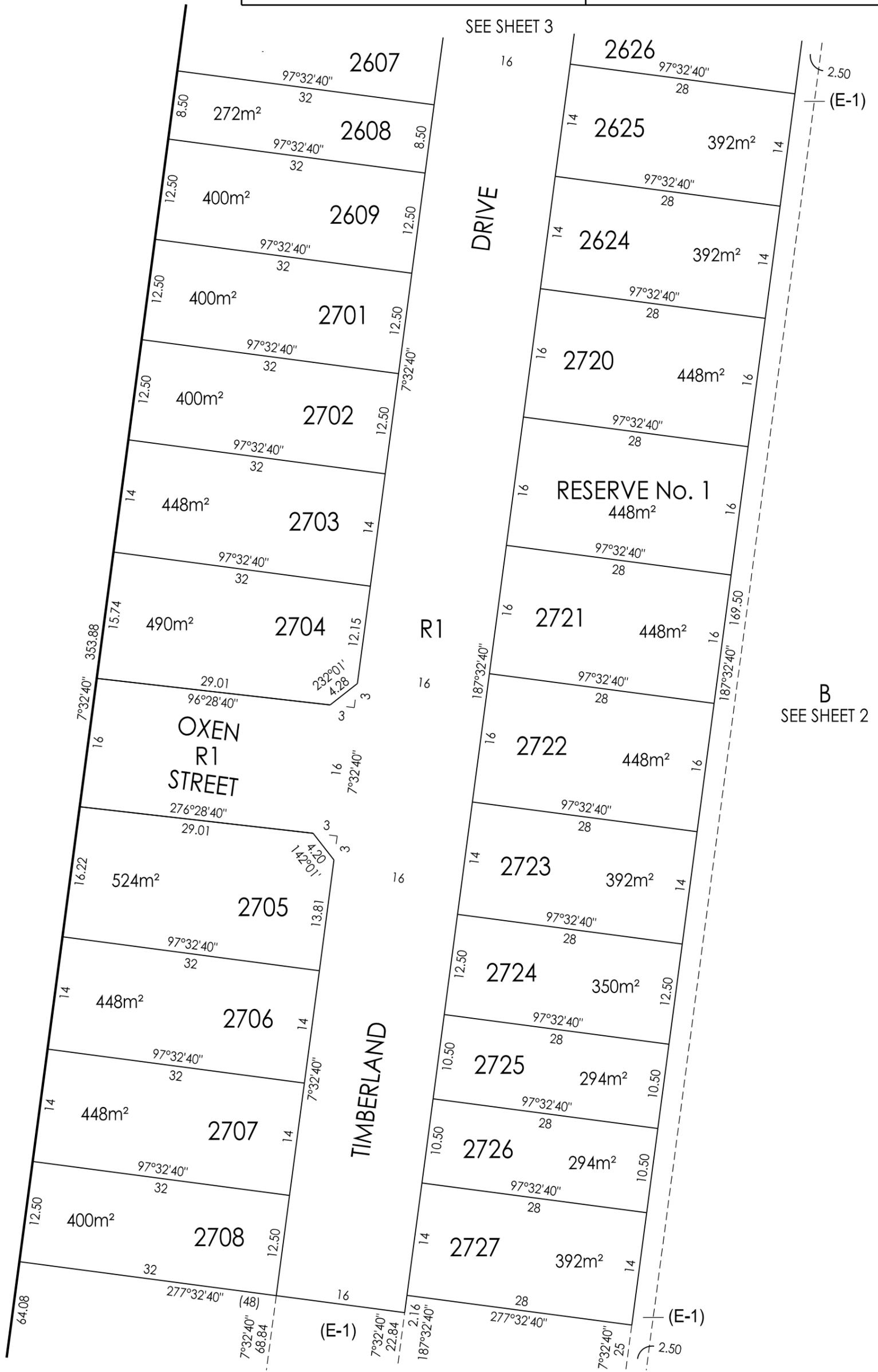
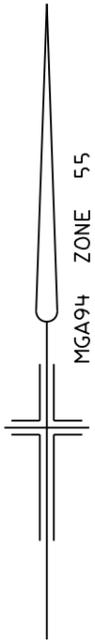
Breese Pitt Dixon Pty Ltd  
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PLAN OF SUBDIVISION

PLAN NUMBER  
PS 811232G



SCALE

1:500



ORIGINAL SHEET SIZE A3

SHEET 4

REF: 8584/25

VERSION: 11



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**SUBDIVISION ACT 1988**  
**CREATION OF RESTRICTION**

Upon registration of the plan, the following restriction is to be created.

Land to benefit : Lots 2503 to 2509 (both inclusive), 2522 to 2525 (both inclusive), 2547 to 2551 (both inclusive), 2601 to 2615 (both inclusive), 2624 to 2626 (both inclusive), 2701 to 2708 (both inclusive) and 2720 to 2727 (both inclusive).

Land to be burdened: Lots 2503 to 2509 (both inclusive), 2522 to 2525 (both inclusive), 2547 to 2551 (both inclusive), 2601 to 2615 (both inclusive), 2624 to 2626 (both inclusive), 2701 to 2708 (both inclusive) and 2720 to 2727 (both inclusive).

Description of Restriction :

- (1) The registered proprietor or proprietors for the time being of any lot forming part of the Land to be burdened must not, without the permission of the Responsible Authority Build or permit to be built or remain on the lot or any part of it;
  - (a) Any dwelling or commercial building unless the building incorporates dual plumbing for the use or recycled water for toilet flushing and garden watering where recycled water is available to the said lot and;
  - (b) In the case of lots less than 300m<sup>2</sup> any dwelling unless in accordance with the Small Lot Housing Code or unless a planning permit allowing the construction of lots under 300m<sup>2</sup> has been obtained from Wyndham City Council. For the purpose of the Small Lot Housing Code lots 2506, 2507, 2508, 2550, 2551, 2602, 2603, 2604, 2607, 2608, 2610, 2611, 2612, 2725 and 2726 are 'Type A' lots.
  
- (2) The registered proprietor or proprietors for the time being of any lot forming part of the Land to be burdened must not;
  - (a) Erect any building on a lot unless the plans for such a building are endorsed as being in accordance with the "Creekstone Design Guidelines" as amended from time to time prior to the issue of a building permit. The requirement for such endorsement shall cease to have effect on the lot after an occupancy permit under The Building act 1993 is issued for the whole of the dwelling on the said lot.

These restrictions will cease to affect any of the burdened lots eight (8) years after registration of this plan.

SCALE

ORIGINAL  
SHEET SIZE A3

SHEET 5

REF: 8584/25

VERSION: 11



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